

HISTORIC AND DESIGN REVIEW COMMISSION

October 05, 2022

HDRC CASE NO: 2022-497
COMMON NAME: 603 Barbe
LEGAL DESCRIPTION: NCB 2877 BLK 2 LOT 18 W 10 FT OF 17
ZONING: RM-4 CD, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Gino Lutz
OWNER: Gino Lutz
TYPE OF WORK: Historic Tax Certification
APPLICATION RECEIVED: September 22, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting Historic Tax Certification for the property at 603 Barbe.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

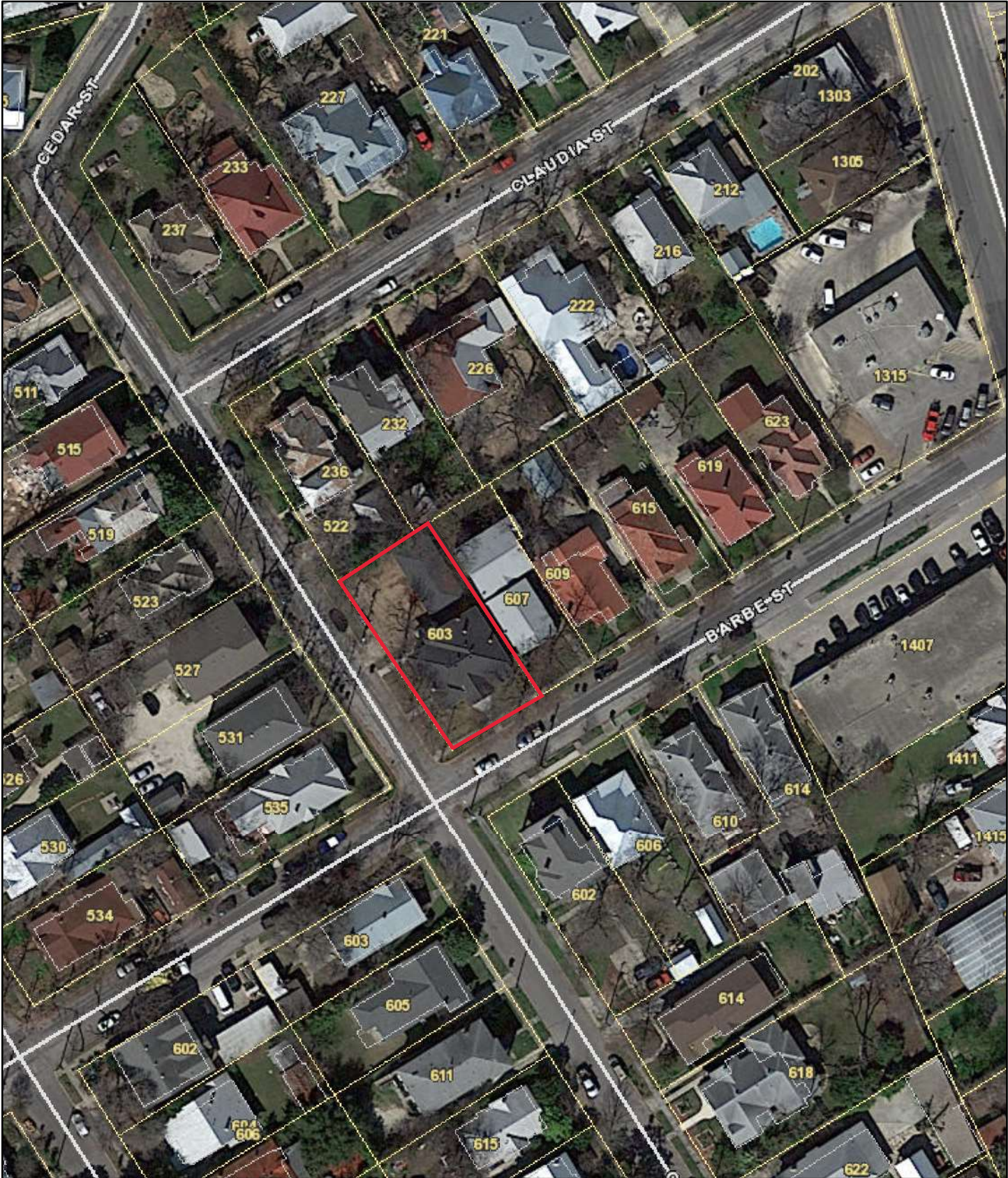
FINDINGS:

- a. The structure located at 603 Barbe is a 2-story, single-family structure constructed in the Craftsman style circa 1910. The primary structure first appears on the 1912 Sanborn Map. The structure features a composition shingle hip roof with a front gable over the deep-set front porch, decorative wood columns with brick bases, wood siding, and wood windows with divided lite transoms. The Sanborn Maps show that this property originally featured a metal or slate roof. The property is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification.
- b. The scope of work includes exterior painting and the replacement of the existing composition shingle roof with a standing seam metal roof. Certificates of Appropriateness are required for all exterior scopes of work.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer. To qualify for the Substantial Rehabilitation Tax Incentive the owner must pursue Historic Tax Verification once the rehabilitation work is complete.

RECOMMENDATION:

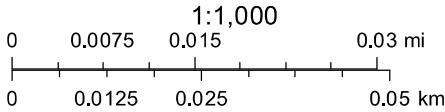
Staff recommends approval based on findings a through c.

City of San Antonio One Stop



September 29, 2022

— User drawn lines



Office of Historic Preservation

1901 S. Alamo St

San Antonio, TX 78204

Re: 603 Barbe St

I have owned this property since 2014. The property is in desperate need of a paint job and possibly a new roof. I am unsure of the age of the roof as it has not been changed since I have owned the property. The roof is a black, typical shingle roof that appears to be 15 years old maybe. I have experienced a few leaks over the years and instead of replacing, I have always just repaired the leaks. I plan to install a new roof within the coming months, which will be a standing seam metal roof with a common color which can hopefully be approved at the staff level.

List of expected work:

- New Roof
- New Exterior paint

Projected time schedule:

- Within the next 3-4 months

Estimated costs

- Roof :
- Paint :

Please see attached color photos of the exterior of the property from street level.

Thank you for your consideration,

Gino Lutz











Seafly, NJ
Lester & Co.









